

COUNCIL ASSESSMENT REPORT

Panel Reference	PPSSNH-23
DA Number	DA 2018/273/A
LGA	WILLOUGHBY
Proposed Development	Section 4.55 - Changes to floor space ratio, building footprint, internal and external alterations, landscaping and associated works.
Street Address	3 Broadcast Way, ARTARMON
Applicant/Owner	Lindsay Bennelong Development Pty Ltd
Date of DA lodgement	13 August 2019
Number of Submissions	Nil
Recommendation	Approval
Regional Development Criteria (Schedule 7 of the SEPP (State and Regional Development) 2011	Capital investment value (CIV) of over \$30 million
List of all relevant s4.15(1)(a) matters	<ul style="list-style-type: none"> • Willoughby Local Environmental Plan 2012 • Willoughby Development Control Plan • State Environmental Planning Policy No.55-Remediation of Land • State Environmental Planning Policy (Infrastructure) 2007 • State Environmental Planning Policy No.33 – Hazardous and Offensive Development • Sydney Regional Environmental Plan (Sydney Harbour Catchment) 2005
List all documents submitted with this report for the Panel's consideration	<ul style="list-style-type: none"> • Architectural plans • Landscape plans • Stormwater plans
Report prepared by	Chi Wai Kong
Report date	31 January 2020

Summary of s4.15 matters

Have all recommendations in relation to relevant s4.15 matters been summarised in the Executive Summary of the assessment report? **Yes**

Legislative clauses requiring consent authority satisfaction

Have relevant clauses in all applicable environmental planning instruments where the consent authority must be satisfied about a particular matter been listed, and relevant recommendations summarized, in the Executive Summary of the assessment report? **Yes**

e.g. Clause 7 of SEPP 55 - Remediation of Land, Clause 4.6(4) of the relevant LEP

Clause 4.6 Exceptions to development standards

If a written request for a contravention to a development standard (clause 4.6 of the LEP) has been received, has it been attached to the assessment report? **Not Applicable**

Special Infrastructure Contributions

Does the DA require Special Infrastructure Contributions conditions (S7.24)? **Not Applicable**

Note: Certain DAs in the Western Sydney Growth Areas Special Contributions Area may require specific Special Infrastructure Contributions (SIC) conditions

Conditions

Have draft conditions been provided to the applicant for comment? **Yes**

Note: in order to reduce delays in determinations, the Panel prefer that draft conditions, notwithstanding Council's recommendation, be provided to the applicant to enable any comments to be considered as part of the assessment report

SNPP NO: PPSSNH-23
COUNCIL: WILLOUGHBY CITY COUNCIL
ADDRESS: 3 BROADCAST WAY, ARTARMON NSW 2064.
DA NO: DA-2018/273/A
PROPOSAL: SECTION 4.55 - CHANGES TO FLOOR SPACE RATIO, BUILDING FOOTPRINT, INTERNAL AND EXTERNAL ALTERATIONS, LANDSCAPING AND ASSOCIATED WORKS.
RECOMMENDATION: APPROVAL
ATTACHMENTS:

1. SITE DESCRIPTION, AERIAL PHOTO AND DESCRIPTION OF PROPOSAL
2. DEVELOPMENT CONTROLS, STATISTICS, DEVELOPER CONTRIBUTION & REFERRALS
3. SECTION 4.15 (79C) ASSESSMENT
4. SECTION 4.55 (96) ASSESSMENT
5. SCHEDULE OF CONDITIONS
6. NOTIFICATION MAP

OWNER: GH CLOUD MANAGEMENT PTY LTD
APPLICANT: MR BRYAN FUNG
DATE OF LODGEMENT: 13-AUG-2019
AUTHOR: CHI WAI KONG - DEVELOPMENT ASSESSMENT OFFICER
MEETING DATE: 19 FEBRUARY 2020

1. PURPOSE OF REPORT

The proposal is regionally significant development as identified in Schedule 7 of the *State Environmental Planning Policy* (State and Regional Development) 2011. It has a capital investment value (CIV) of over \$30 million **(\$37,176,000)** and therefore Sydney North Planning Panel is the determination authority.

2. OFFICER'S RECOMMENDATION

THAT the Sydney North Planning Panel (SNPP) approve the development subject to the attached conditions and issue consent for the application DA-2018/273/A for SNPP - Section 4.55 - changes to floor space ratio, building footprint, internal and external alterations, landscaping and associated works at 3 Broadcast Way, ARTARMON.

3. BACKGROUND

The site is located at 3 Broadcast Way, Artarmon in the Gore Hill Technology Park, formerly the ABC Gore Hill site. The legal property description of the site is Lot 3 DP 270714. The original development application for the construction of a high technology industrial building for use as a purpose built data centre was approved by SNPP on 21 December 2018. A description of the site and surrounding area, including an aerial photograph is contained in **Attachment 1**.

The modification application was notified for a period of 21 days and no submissions were received.

4. DISCUSSION

The approved application (DA 2018/273) is for the construction of a four-storey industrial building for use as a data centre, including:

- Ground and lower ground floor: switch rooms, water tanks, mechanical plant rooms, offices, loading and garbage areas
- First & second floor: Data halls, with computer room air handler plant
- Third floor: Rooms housing UPS (uninterruptible power supply) and battery equipment
- Fourth floor: Data hall, buffer tanks and diesel generators, and
- Roof area: Mechanical plant room and cooling tower zone
- Provision for 1,802 data racks

The subject site is zoned IN2 – Light Industrial zone under Willoughby. Local Environmental Plan 2012 and the proposal is defined as a ‘high technology industry’ which is a permissible use in the zone with consent.

The modification application is for **changes to the approved floor space ratio, building footprint, internal and external alterations, landscaping and associated works**. The changes are detailed in **Attachment 1**.

Although the modified proposal will increase the gross floor area by 165m², the number of staff, management arrangement and provision of 17 car parking spaces and associated loading dock facilities remain the same as per the original approval. In December 2019, the briefing notes was submitted to SNPP for consideration. The Panel members raised the concerns of the ongoing reports from residents located across Pacific Highways that their streets are constantly being parked out by workers from Broadcast Way.

In response, the applicant provided additional information demonstrating that the subject data centre building will be operated concurrently with the existing Keppel data centre at 5 Broadcast Way and will share a similar operating profile and some common operational personnel. As such, the maximum number of occupants present in the subject building during day time will be 8 and that night time will be 4. Further, there is free community bus service provided by the Gore Hill Technology Park to transport employees between the Technology Park and train station. Therefore, the provision of 17 car parking spaces as originally approved is considered satisfactory and it will not compromise the on-street parking on the streets for the residents located across Pacific Highway.

The controls and development statistics that apply to the subject land and details of the modified proposal are provided in **Attachment 2**.

5. CONCLUSION

The Modification Application DA-2018/273/A has been assessed in accordance with Section 4.15 (79C) of the *Environmental Planning and Assessment Act 1979*, *WLEP 2012*, *WDCP*, and other relevant codes and policies. It is considered that the proposal is acceptable in the particular location, subject to the consent conditions included in **Attachment 5**.

ATTACHMENT 1: SITE DESCRIPTION, AERIAL PHOTO AND DESCRIPTION OF PROPOSAL

The site is located at 3 Broadcast Way, Artarmon and is located in the Gore Hill Technology Park, formerly the ABC Gore Hill site. The legal property description of the site is Lot 3 DP 270714.

The site is a vacant rectangular shaped lot with an area of approximately 3840m². It has a frontage of 51m to Broadcast Way which is a private community title road. The site is burdened by a 10m wide electrical easement located along the rear eastern boundary.

The site comprises a higher southern portion with an RL 91.41 m and then slopes to a level northern area with an RL 86.00 m.

To the immediate south of the site on Lot 5 is a similar data centre building with an identical height of RL 118m. The building comprises two separately tenanted data centres, one being occupied by the ASX. The Fox Sports Broadcast building is located to the south west of the site on Lot 4. Immediately north of the site is 1 Broadcast Way which is approved for a 10 storey Ausgrid depot and administration facility and the construction works have been completed. The heritage listed former ABC communications tower is located directly west of the site. To the north-west across Broadcast Way is 2 Broadcast Way and development approval for the construction of 8 storey industrial building for use as a data centre has been granted by SNPP on 17 December 2019.

An aerial view of the site is contained in Figure 1 and photographs of the site and surrounds are contained in plates 1 to 7.



Figure 1: Aerial Photo of the subject site and its surrounds



Plate 1: View facing north east across site towards Ausgrid site



Plate 2: View of site frontage from Broadcast Way



Plate 3: View across site facing west towards former ABC Tower and northern side of Fox Studios



Plate 4: View facing south-east across site and existing data centre building on Lot 5



Plate 5: View facing south towards existing data centre building on Lot 5 to south



Plate 6: View facing south along eastern rear boundary

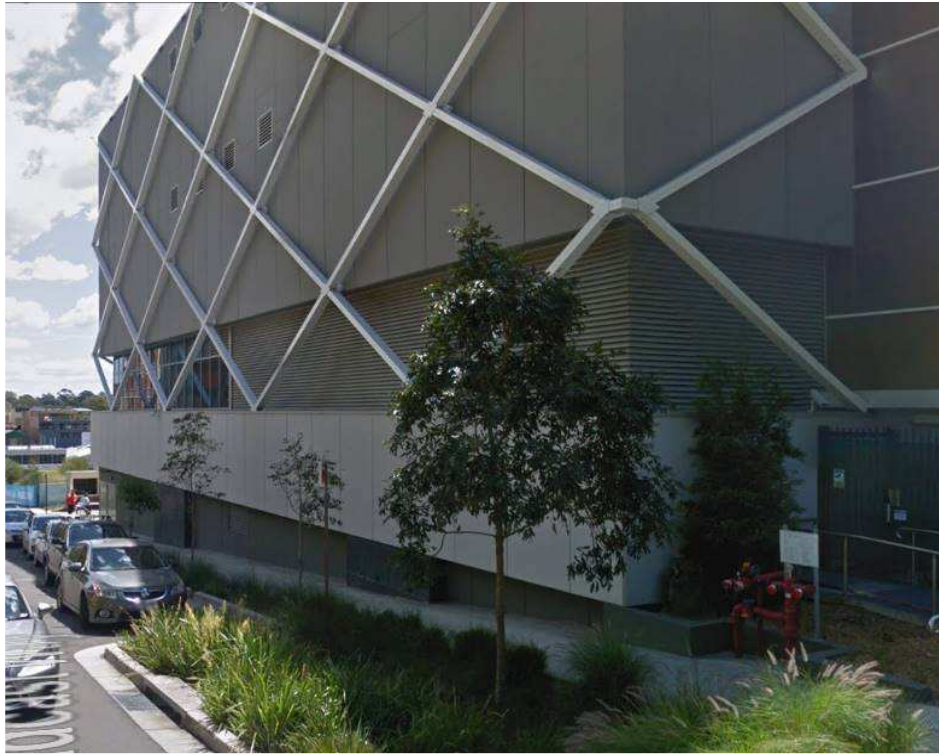


Plate 7: View of existing data centre building on Lot 5 facing south-east along Broadcast Way

DESCRIPTION OF PROPOSAL

The amendments to the approved development are summarised as follows:

- Lower ground floor (Plan 1)
 - Realignment of the setback on the northwest elevation with the ground floor level to a new increased setback of 4.6m to allow for a new Ausgrid easement along the north-western boundary;
 - New water tanks and service corridor below ground floor level adjacent to the lifts;
 - Relocation of the original underground fuel tank and pump room to within 4-hour above ground fire rated enclosure;
 - Reconfiguration of the switch rooms/plant rooms layout to facilitate the fuel tank and pump room.
- Ground floor (Plan 2)
 - Reconfiguration of the administration areas results in the reduction in gross floor area by 18m²;
 - Increase in the floor to ceiling height from 4.5m to 5m;
- First and second floors (Plan 3)
 - Minor increase in the perimeter of the plant area results in a reduction in gross floor area by 175m² on each floor;
- Third floor (Plan 4)
 - Reconfiguration of the uninterrupted power supply layout;
 - Provision of new amenities results in an increase in gross floor area by 7m²;
 - Reduction in floor to ceiling height from 4.5m to 4m;
- Fourth floor (Plan 5)
 - Reconfiguration of the buffer tank to allow for new plant rooms/storage;
 - Replacement of the approved data hall with new plant rooms;
 - Relocation of the plant room to the southern side of the service core;

- Removal of diesel generators to the roof level;
- New data hall in diesel generator area results in an increase in gross floor area on this floor level by 526m²;
- Roof level (Plan 6)
 - Removal of the removable light weight roof panels;
 - Extension of the roof surface to allow for open air generator zone over fourth floor data hall;
 - Reversal of the roof pitch above the mechanical plant.
- The proposed modifications result in a change to the approved floor space ratio from 1.37:1 to 1.41:1 and represent in the change of the approved gross floor area from 5,256m² to 5,421m².
- The modified proposal maintains the approved building height of 31.6m (RL 118) which is compliant with the mapped height limit for the site of RL 118 under Clause 4.3 of Willoughby LEP 2012.
- Although the proposal will increase the gross floor area, the number of staff, management arrangement and provision of 17 car parking spaces and associated loading dock facilities to accommodate a 7.2m van/truck remain the same as per the original approval.
- The site coverage will be increased from 51% to 53% i.e. from the approved ground floor footprint of 1,980m² to 2,035m² as a result of the lower ground floor plant rooms realignment.
- The landscaped area on the north-western side of the site will be increased from 942m² (24.5%) to 945m² (24.6%) due to the realignment of the façade of the lower ground floor level and the increase in width of the setback area.
- Amendment to the approved schedule of materials and finishes to respond to the proposed amendments.
- Amendment to the stormwater management plans to comply with the Gore Hill business park Stormwater management Plan.

Photomontages of the site are contained below:



Photomontage 1: View facing south east along Broadcast Way depicting proposal



Photomontage 2: View facing south east from the intersection of Campbell Street and Broadcast Way depicting proposal

Comparison Plans for the Approved Development and Modified Proposal



Approved

Modified

Plan 1: Lower ground floor plan

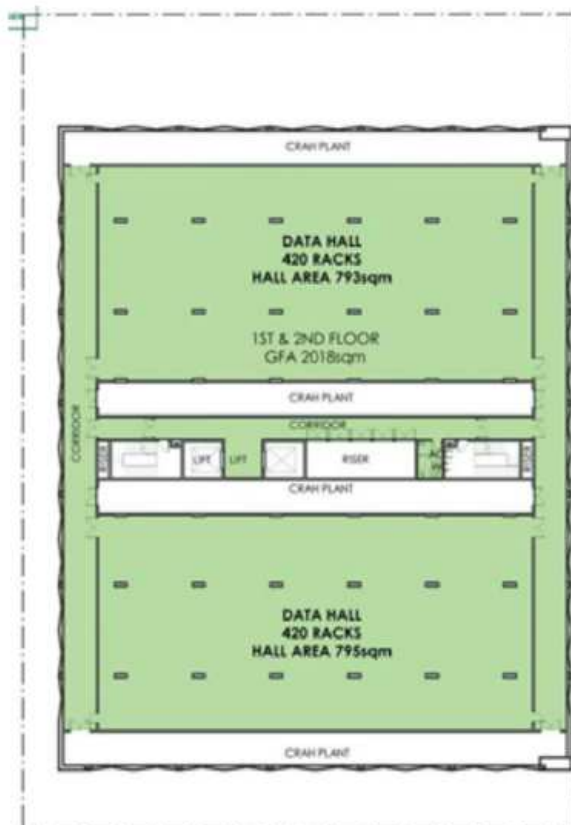


Approved

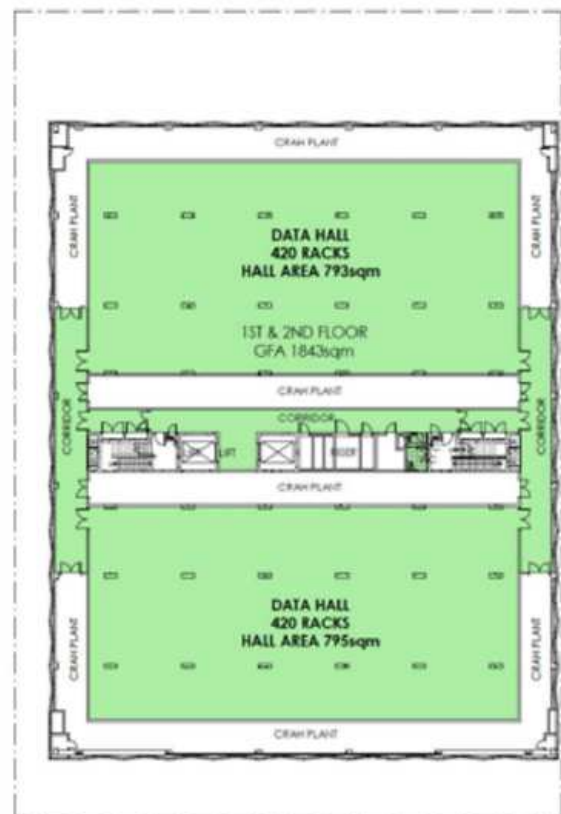


Modified

Plan 2: Ground floor plan



Approved

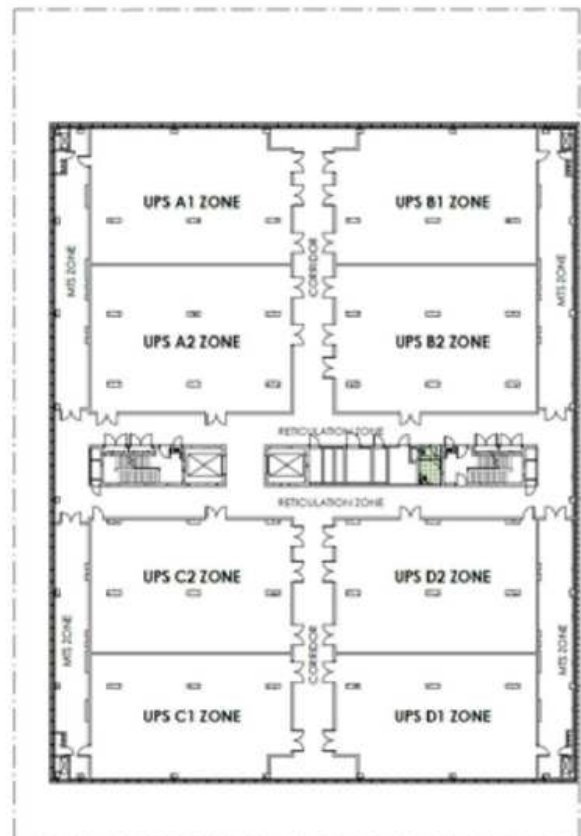


Modified

Plan 3: First & second floor plan

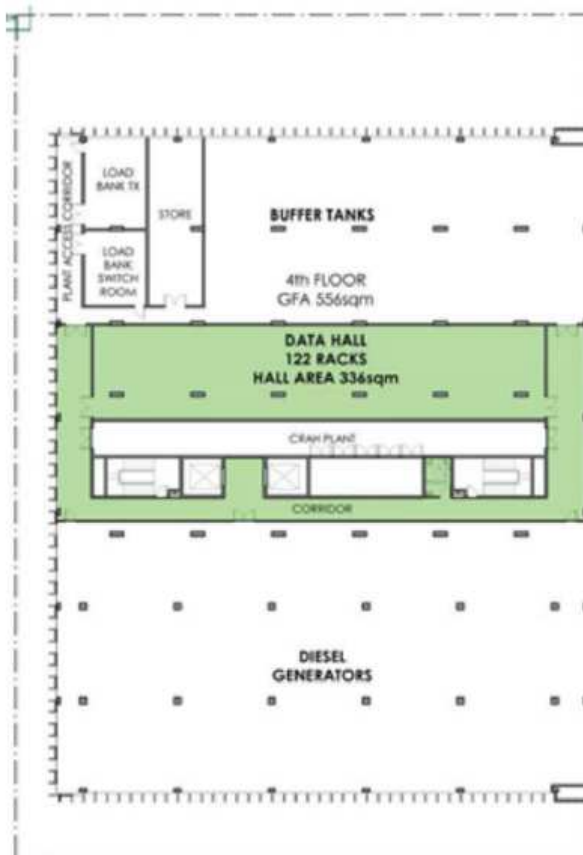


Approved



Modified

Plan 4: Third floor plan

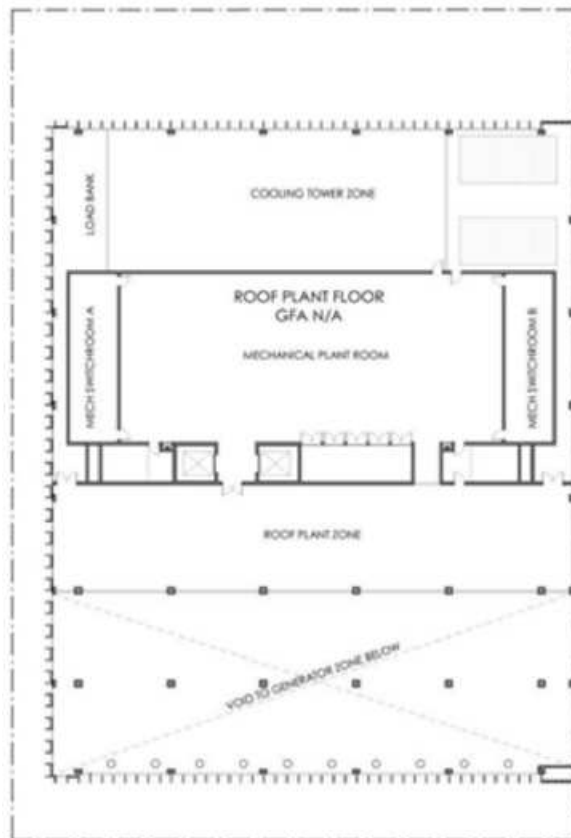


Approved

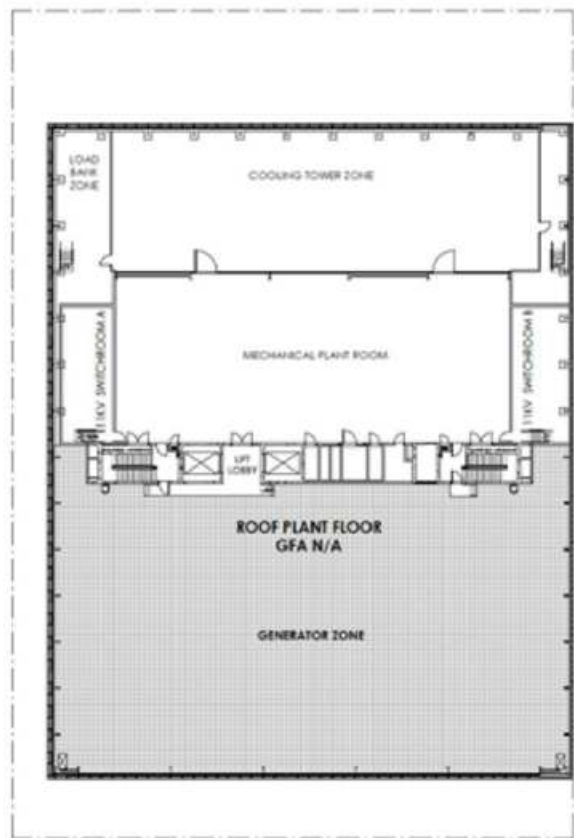


Modified

Plan 5: Fourth floor plan



Approved



Modified

Plan 6: Roof floor plan

ATTACHMENT 2: CONTROLS, DEVELOPMENT STATISTICS & REFERRALS

Controls and Classification	
Willoughby Local Environmental Plan 2012 ("WLEP 2012")	
Zoning	IN2 –Light Industrial Zone- Proposal defined as a 'high technology industry'
Primary Development Standards	<p>Clause 4.4A-Floor Space Ratio (FSR) – 1.5:1 <i>(22) The maximum floor space ratio for a building on land identified as "Area 19" on the Floor Space Ratio Map may exceed 1:1 if:</i> <i>(a) the site area exceeds 1,000 square metres, and</i> <i>(b) the floor space ratio will not exceed 1.5:1, and</i> <i>(c) the site coverage will not exceed 60% of the site area.</i></p> <p>The modified development is compliant with has an FSR of 1.41:1, excluding plant and equipment and has a site coverage of 53%.</p> <p>Clause 4.3-Height of Building – RL 118m AHD The proposed development has a maximum height of RL 118m and complies.</p>
Applicable DCP	Willoughby Development Control Plan (WDCP) Part C.4- Car Parking Part I.5 - Gore Hill Technology Park (Lots 1-6 DP 270714) 1-5 Broadcast Way.
Applicable SEPPs	<ul style="list-style-type: none"> SEPP 55 – Remediation of Land SEPP 33 – Hazardous and Offensive Development Sydney Regional Environmental Plan (Sydney Harbour Catchment) 2005 SEPP (Infrastructure) 2007

Statement of Environmental Planning Policy (Infrastructure) 2007

The development does not meet the threshold for *Commercial premises and industry purpose* under Schedule the *SEPP (Infrastructure)* hence the application was not referred to the RMS.

State Environmental Planning Policy No.55 – Remediation of Land

State Environmental Planning Policy No. 55 Remediation of Land (SEPP 55) provides controls and guidelines for the remediation of contaminated land. Clause 7 of the SEPP specifies that a consent authority must not consent to the carrying out of any development on land unless it has considered whether land is contaminated and if the land is contaminated, it is satisfied that the land is/ can be suitable for the approved development.

State Environmental Planning Policy No.33 – Hazardous and Offensive Development

The modification does not constitute a hazardous or offensive development under *State Environmental Planning Policy No.33 – Hazardous and Offensive Development*.

Sydney Regional Environmental Plan (Sydney Harbour Catchment) 2005

The modification is not inconsistent with any provisions under *Sydney Regional Environmental Plan (Sydney Harbour Catchment)*.

Developer's Contribution Plans:

- a) S94(A): Yes. No changes to the original approved contribution.
 b) Date of accepted cost of development: 22 August 2018

Development Statistics

	Approved	Proposed	Standard	Compliance
Site Area	3,840m ²	No change	-	-
Gross Floor Area	5,256m ²	5,421m ²	5,760m ²	Yes
Floor Space Ratio	1.37:1	1.41:1	1.5:1	Yes
Building Height	RL 118	No change	RL 118	Yes
Site Coverage	51%	53%	60%	Yes
Setbacks			Minimum of 10m from the Pacific Highway, 7m from the Campbell Street side boundary, and 3m from internal roads and pathways pedestrian/cycle ways	Yes
Front (West)	18.24m (ground Level)	No change		
Side (North)	5.23m (upper levels) 3.6m (ground level)	4.6m (ground level) 3.25m (upper levels)		
(South)	3.25m (upper level) 0.7m (ground level)	No change		
Rear (East)	0m (upper levels) 10.74m (ground floor) 10.11m (upper level)	No change		
Car Parking Spaces	17 spaces (including 1 accessible space) + 1 motorcycle space	No change	54	No ⁽¹⁾
Soft Landscaping	942m ² (24.5%)	945m ² (24.6%)	960m ² (25%)	No ⁽²⁾

The proposal does not comply numerically with ***Willoughby Development Control Plan*** in regard to:

(1) Car Carking

In the original development application the applicant has submitted that as the data centre proposes to employ approximately 20 staff and that only 75% of the staff would be on site at any one time, the provision of 54 spaces is excessive and unnecessary. This view was supported by Council's Traffic Engineer.

The current modified proposal will increase the gross floor area by 165m² and require an additional provision of 1.6 car parking space. The SNPP members had considered the briefing Notes in December 2019 and raised the concerns of *"the ongoing reports from residents located across Pacific Highway that their streets are constantly being parked out by workers from Broadcast Way. The nature of shift work in the precinct means that off public transport is not viable."*

In response, the applicant provided additional information demonstrating that the subject data centre building will be operated concurrently with the existing Keppel data centre at 5 Broadcast Way and will share a similar operating profile and some common operational personnel. As such, the maximum number of occupants present in the subject building during day time will be 8 and that night time will be 4. Further, there is free community bus service provided by the Gore Hill Technology Park to transport employees between the Technology Park and train station. Therefore, the provision of 17 car parking spaces as originally approved is considered satisfactory and it will not compromise the on-street parking on the streets for the residents located across Pacific Highway.

(2) Soft/Natural Landscaped Area

The soft landscaped area proposed in the modified proposal is slightly increased due to the realignment of the north-western façade. Although the resultant provision of landscaped area does not comply with the requirement, the shortfall is considered acceptable in this context.

Willoughby Development Control Plan

Part C.4 – Car Parking

The car parking issue is discussed in the Development Statistics Section and is considered satisfactory in this circumstance.

Part I.5 – Gore Hill Technology Park (Lots 1-6 DP 270714) 1-5 Broadcast Way (Formerly ABC Gore Hill Divestment Site – 219 Pacific Highway, Artarmon)

Height, setback and site coverage

The proposed development complies with the building height control of RL 118, relevant front and side setbacks (10m from Pacific Highway, 7m from Campbell Street and 3m from internal roads) and site coverage of 60%.

Building Design Guidelines

The built form of the modified proposal is similar to that of the approved development and has no significant impact on the streetscape.

Landscaping

WDCP requires 25% (960m²) of the site to be landscaped and the modified proposal is marginally deficient of the requirement at 24.6% (945m²). The modification has slightly increased the landscaped area of the original approved development by 3m² and will improve the existing street frontage landscaping and will reduce the visual impacts of the proposal.

Council's Landscape Officer raised no objection to the amended proposal.

REFERRALS

Landscape Officer

No objection and no additional conditions.

Environmental Health Officer

No objection subject to an additional condition requiring the submission of an Acoustic Report prior to the issue of a Construction Certificate (**Condition 13A - Additional Acoustic Report**) and amendment to **Condition 50 - Acoustic Works – Report** prior to occupation.

Building Surveyor

No objection and no additional conditions.

Development Control Engineer

No objection and no additional conditions.

Traffic Engineer

No objection and no additional conditions.

ATTACHMENT 3: SECTION 4.15 ASSESSMENT

Matters for Consideration Under S.79C EP&A Act

Satisfactory ✓ Unsatisfactory ✗ Not Relevant N/A

(a)(i)	The provisions of any environmental planning instrument (EPI)	
	<ul style="list-style-type: none"> State Environmental Planning Policies (SEPP) 	✓
	<ul style="list-style-type: none"> Regional Environmental Plans (REP) 	✓
	<ul style="list-style-type: none"> Local Environmental Plans (LEP) 	✓
	Comment: The proposal complies with the development controls and is consistent with the objectives of IN2 – Light Industrial zone under <i>WLEP 2012 and relevant SEPPs</i> .	
(a)(ii)	The provision of any draft environmental planning instrument (EPI)	
	<ul style="list-style-type: none"> Draft State Environmental Planning Policies (SEPP) 	N/A
	<ul style="list-style-type: none"> Draft Regional Environmental Plans (REP) 	N/A
	<ul style="list-style-type: none"> Draft Local Environmental Plans (LEP) 	N/A
	Comment: There are no draft EPIs that apply to the subject land.	
(a)(iii)	Any development control plans	
	<ul style="list-style-type: none"> Development control plans (DCPs) 	✓
	Comment: The proposal complies with the requirements under <i>WDCP</i> except for the car parking requirement. The numerical non-compliance is considered acceptable from a traffic point of view due to the nature of data centre which generates low traffic volume and the provision of community bus services to and from the area.	
(a)(iv)	Any matters prescribed by the regulations	
	<ul style="list-style-type: none"> Clause 92 EP&A Regulation-Demolition 	N/A
	<ul style="list-style-type: none"> Clause 93 EP&A Regulation-Fire Safety Considerations 	N/A
	<ul style="list-style-type: none"> Clause 94 EP&A Regulation-Fire Upgrade of Existing Buildings 	N/A
	Comment: N/A	
(b)	The likely impacts of the development	
	<ul style="list-style-type: none"> Context & setting 	✓
	<ul style="list-style-type: none"> Access, transport & traffic, parking 	✓
	<ul style="list-style-type: none"> Servicing, loading/unloading 	✓
	<ul style="list-style-type: none"> Public domain 	✓
	<ul style="list-style-type: none"> Utilities 	✓
	<ul style="list-style-type: none"> Heritage 	N/A
	<ul style="list-style-type: none"> Privacy 	N/A
	<ul style="list-style-type: none"> Views 	N/A
	<ul style="list-style-type: none"> Solar Access 	N/A
	<ul style="list-style-type: none"> Water and draining 	✓
	<ul style="list-style-type: none"> Soils 	✓
	<ul style="list-style-type: none"> Air & microclimate 	✓
	<ul style="list-style-type: none"> Flora & fauna 	✓
	<ul style="list-style-type: none"> Waste 	✓
	<ul style="list-style-type: none"> Energy 	✓
	<ul style="list-style-type: none"> Noise & vibration 	✓
	<ul style="list-style-type: none"> Natural hazards 	✓
	<ul style="list-style-type: none"> Safety, security crime prevention 	✓
	<ul style="list-style-type: none"> Social impact in the locality 	✓
	<ul style="list-style-type: none"> Economic impact in the locality 	✓
	<ul style="list-style-type: none"> Site design and internal design 	✓
	<ul style="list-style-type: none"> Construction 	✓

Matters for Consideration Under S.79C EP&A Act
Satisfactory ✓ Unsatisfactory ✗ Not Relevant N/A

	<ul style="list-style-type: none"> Cumulative impacts 	✓
	Comment: The modified proposal is compatible with the existing development in the Gore Hill Technology Park. The likely environmental or traffic impacts on adjoining development or vicinity are insignificant.	
(c)	The suitability of the site for the development	
	<ul style="list-style-type: none"> Does the proposal fit in the locality? 	✓
	<ul style="list-style-type: none"> Are the site attributes conducive to this development? 	✓
	Comment: The form, and bulk and scale of the modified proposal is similar to that of the approved development and has no significant impact on the streetscape or character of the locality.	
(d)	Any submissions made in accordance with this Act or the regulations	
	<ul style="list-style-type: none"> Public submissions 	N/A
	<ul style="list-style-type: none"> Submissions from public authorities 	N/A
	Comment: No submissions were received.	
(e)	The public interest	
	<ul style="list-style-type: none"> Federal, State and Local Government interests and Community interests 	✓
	Comment: The modified proposal does not compromise the amenity or technology park characteristic of the locality. Therefore, the proposal is in the public interest.	

ATTACHMENT 4: SECTION 4.55 ASSESSMENT

Considerations Under S4.55(2) EP&A Act - Other modifications

A consent authority may, on application being made by the applicant or any other person entitled to act on a consent granted by the consent authority and subject to and in accordance with the regulations, modify the consent if:

Satisfactory ✓ Unsatisfactory ✗ Not Relevant N/A

(a)	it is satisfied that the development to which the consent as modified relates is substantially the same development as the development for which consent was originally granted and before that consent as originally granted was modified (if at all), and	✓
	Comments: the modification application mainly relates to the alterations and additions to the internal floor layout of the approved data centre building, the development is substantially the same development for which the original consent was granted.	
(b)	it has consulted with the relevant Minister, public authority or approval body (within the meaning of Division 5) in respect of a condition imposed as a requirement of a concurrence to the consent or in accordance with the general terms of an approval proposed to be granted by the approval body and that Minister, authority or body has not, within 21 days after being consulted, objected to the modification of that consent, and	✓
	Comments: N/A	
(c)	it has notified the application in accordance with: (i) the regulations, if the regulations so require, or (ii) a development control plan, if the consent authority is a council that has made a development control plan that requires the notification or advertising of applications for modification of a development consent, and	✓
	Comments: The modification application was notified in accordance with Part B4 of WDCP.	
(d)	it has considered any submissions made concerning the proposed modification within the period prescribed by the regulations or provided by the development control plan, as the case may be.	N/A
	Comments: No submissions were received	

ATTACHMENT 5: SCHEDULE OF CONDITIONS

SCHEDULE

Development Consent 2018/273 is modified as follows:

A. Condition No 1 is amended to read as follows:

Approved Plan/Details

The development must be in accordance with the following plans:

Type	Plan No.	Revision/ Issue No	Plan Date (as Amended)	Prepared by
Cover Sheet	DA2000	A	02/08/18	Leffler Simes Architects
East & South Elevation	DA2150	D		
West & East Elevation	DA2151	D		
Finishes & Materials Schedule	EXFB	A		
Site & Site Analysis Plan	DA2050	A		
Ground & Lower Ground Floor Plan	DA2100	D		
Typical Floor Plan(First & Second Floor)	DA2101	D		
Third Floor Plan (Electrical Plant)	DA2102	D		
Fourth Floor Plan (Mechanical & Electrical Plant)	DA2103	D		
Roof Plant Enclosure Plan	DA2104	D		
Roof Plan	DA2105	B		
Lower Ground Plant and Ground Floor GFA Plan	GFA00	C		
First to Third Floor GFA Plan	GFA01	B		
Fourth Floor and Roof Plant GFA Plan	GF02	PA		
Site Coverage Area Plan	SC01	A		
Cross Section A and Long Section B	DA2160	D	13.08.2018	Peter Glass & Associates Landscape Architects
Section Through Carpark Looking North and East	DA2161	C		
Tree Planting Details	L2001	D	13.08.2018	Peter Glass & Associates Landscape Architects
Landscape Plan	L2002			
Concept Stormwater Management Plan	C07	11	13.08.2018	Northrop
Cover Sheet, Drawing Schedule and Locality Plan	DAC01.01	01	13.08.2018	
Specification Notes	DAC01.11	01	13.08.2018	
Concept Sediment and Soil Erosion Control Plan	DAC02.01	01	13.08.2018	
Concept Sediment and Soil Erosion Control Details	DAC02.11	01	13.08.2018	
Site works and Stormwater Management Plan	DAC04.01	01	13.08.2018	
Details – Sheet 01	DAC09.01	1	13.08.2018	

the application form and any other supporting documentation submitted as part of the application,

As modified by (DA-2018/273/A)

Plan Type	Plan No.	Revision/ Issue No.	Plan Date (as Amended)	Prepared by
Lower ground floor plan	DA2099	A	08/08/19	Leffler Simes Architects
Ground floor	DA2100	E		
Typical first & second floors	DA2101			
Third floor plan	DA2102			
Fourth floor plan	DA2103			
Roof plant plan	DA2104			
Upper roof plan	DA2105	C		
East & south elevations	DA2150	E		
West & north elevations	DA2151			
Building sections	DA2160	F		
Carpark sections	DA2161	E		
Ground & typical GFA floor plans	GFA00	D		
Third & fourth GFA floor plans	GFA01	C		
Fourth & roof plant GFA plans	GFA02	B		
Site coverage area plan	SC01			
Landscape plan project site	L2001	E	02.08.19	Peter Glass & Associates Landscape Architect
Landscape plan public domain	L2002			
Cover sheet, drawing list, legend	C1.00	E	18.09.2019	SCP Engineers & Development Consultants
Site grading & drainage plan – Sheet 1	C3.01	G		
Site grading & drainage plan – sheet 2	C3.02	F		
Civil details – Sheet 1	C7.01	E		
Civil details – Sheet 1	C7.02			
Civil details – Sheet 1	C7.03			

the application form and any other supporting documentation submitted as part of the application, except for:

- (a) any modifications which are “Exempt Development” as defined under S.4.1(1) of the *Environmental Planning and Assessment Act 1979*;
- (b) otherwise provided by the conditions of this consent.
(Reason: Information and ensure compliance)

B. The following condition is added:

PRIOR TO ISSUE OF CONSTRUCTION CERTIFICATE

13A. Additional Acoustic Report

To minimise noise intrusion from any internal or external noise source on the office component of the development, the building shall be designed and constructed to comply with the requirements of Australian Standard AS2107-2016 – Acoustics – Recommended design sound levels and reverberation times for building interiors.

To minimise the impact of noise onto receivers on surrounding land, all mechanical services shall be designed to ensure “offensive noise”, as defined under the provisions of the *Protection of the Environment Operations Act 1997*, is not emitted from the development.

An additional acoustic assessment addressing the above issues shall be conducted by an appropriately qualified acoustic consultant and detailed in a report. Details of the proposed equipment, siting, appropriate noise criteria and any attenuation required shall be included in the acoustic report and submitted to the Certifying authority prior to issue of the Construction Certificate.

(Reason: Amenity, environmental compliance and health)

C. Condition 50 is amended to read as follows:

PRIOR TO OCCUPATION OF THE DEVELOPMENT

50. Acoustic Works – Report

Prior to the issue of any Occupation Certificate, certification shall be provided upon completion of the works, accompanied with evidence from suitably qualified and practising acoustic engineer, to the effect that any acoustic attenuation has been carried out in accordance with the acoustic report prepared by SLR Consulting Australia Pty Ltd, Report No. 610.18264-R02-v0.1, dated August 2019 and any additional acoustic report.

(Reason: Amenity, environmental compliance and health)

D. Comply with all other conditions of the original development consent.

ATTACHMENT 6: NOTIFICATION MAP

